

San Pablo Avenue Specific Plan

Community Open House #1
January 24, 2024

Today's Agenda

1. Presentation
2. Stations and Activities
 1. Specific Plan Overview
 2. Existing Demographics and Land Use Conditions
 3. Land Use Policies
 4. Mobility
 5. Public Realm and Community Life
 6. Priorities for Your Future Vision of San Pablo Ave

We want to hear your ideas and experiences!

Why this Specific Plan?

1. 2015 City Council Referral – “Develop a Plan to guide development on San Pablo Ave”
2. Association of Bay Area Governments (ABAG) and Metropolitan Transportation Commission (MTC) Priority Development Areas (PDA).
 - a) ABAG/MTC Grant 2021
3. Housing Element 2023-2031: Program 27 - Priority Development Areas (PDA), Commercial and Transit Corridors – “increase new housing opportunities...on commercial and transit corridors”

Develop a San Pablo Avenue Corridor PDA Specific Plan, which will increase allowed densities and/or development capacity, and study design standards, public improvements, and mechanisms to incentivize affordable housing.

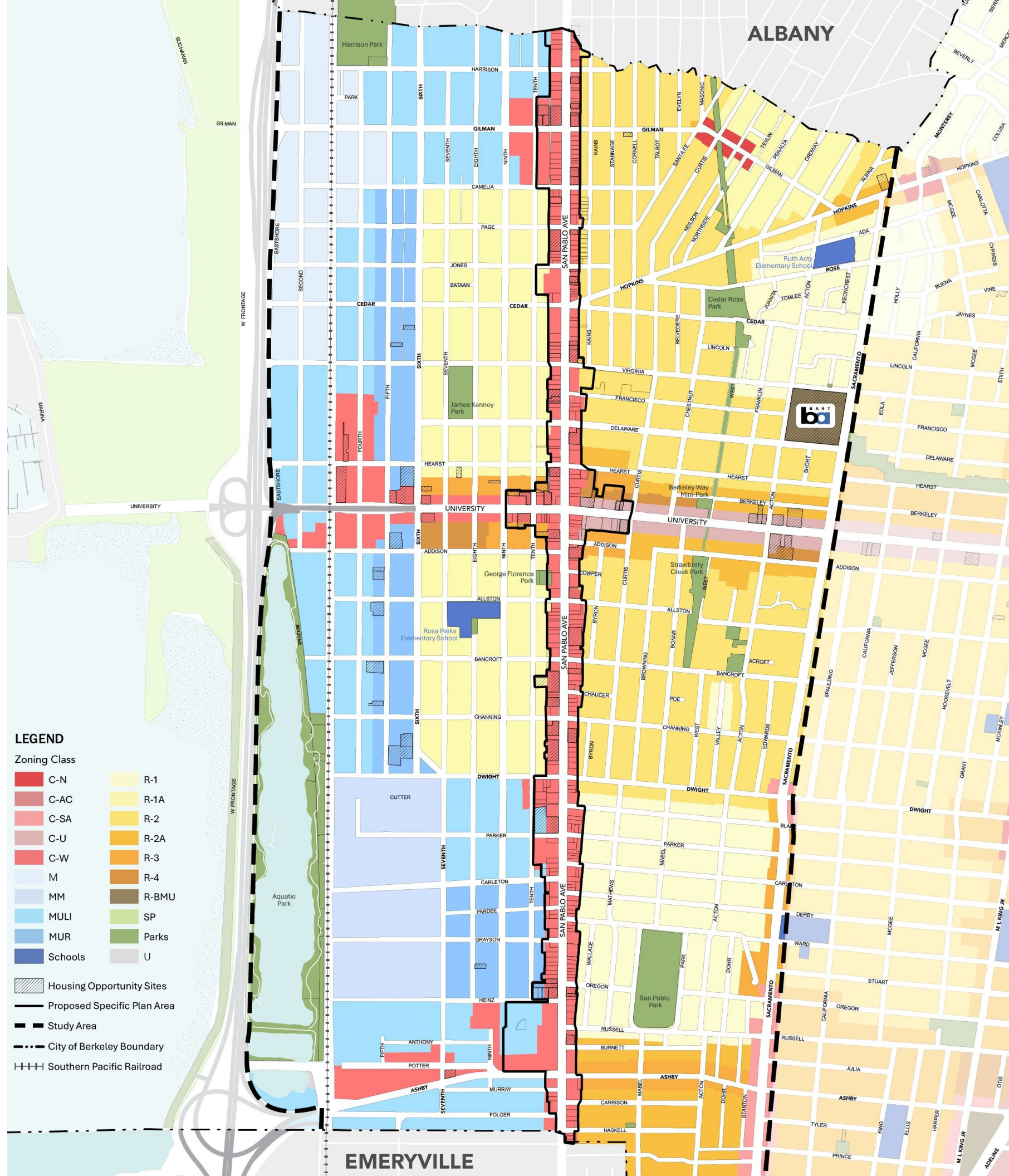
Project Outcomes

A Specific Plan that...

Articulates a vision for the future along San Pablo Avenue

Defines community-based and context-sensitive regulation and policy that apply in the San Pablo Ave Specific Plan Area

Identifies improvements and innovative programs to provide a multitude of opportunities for living, working and community life along San Pablo Avenue



LEGEND

Zoning Class

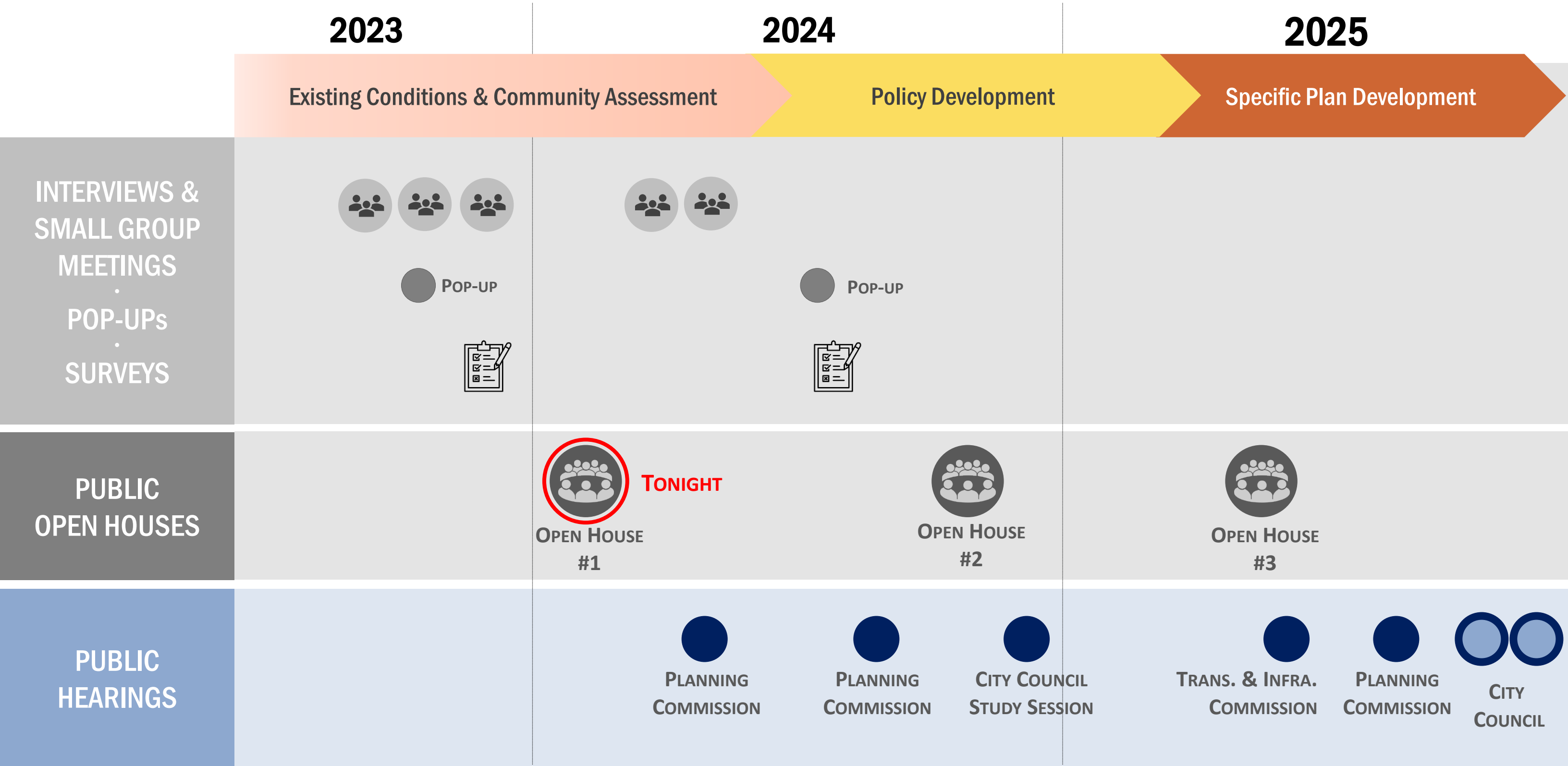
	C-N		R-1
	C-AC		R-1A
	C-SA		R-2
	C-U		R-2A
	C-W		R-3
	M		R-4
	MM		R-BMU
	MULI		SP
	MUR		Parks
	Schools		U

- Housing Opportunity Sites
- Proposed Specific Plan Area
- Study Area
- City of Berkeley Boundary
- Southern Pacific Railroad

Specific Plan Boundary and Study Area

- **Specific Plan Boundary:** Most of the parcels are part of existing West Berkeley Commercial district (C-W)
- **Study Area:** Adjacent neighborhoods with strong relationship to San Pablo Ave area, and part of community engagement process

Project Timeline

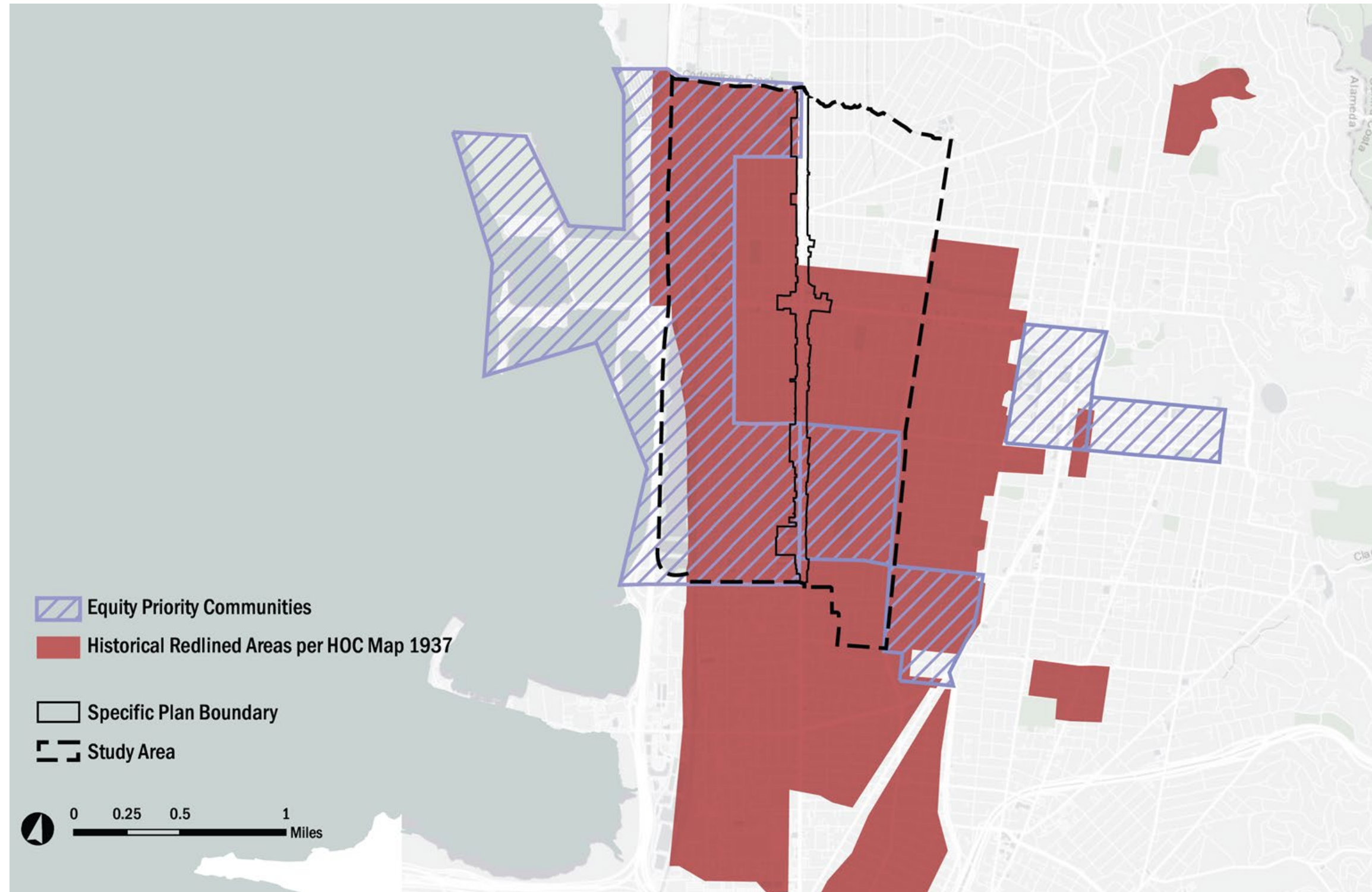


Project Team and Technical Advisory Group



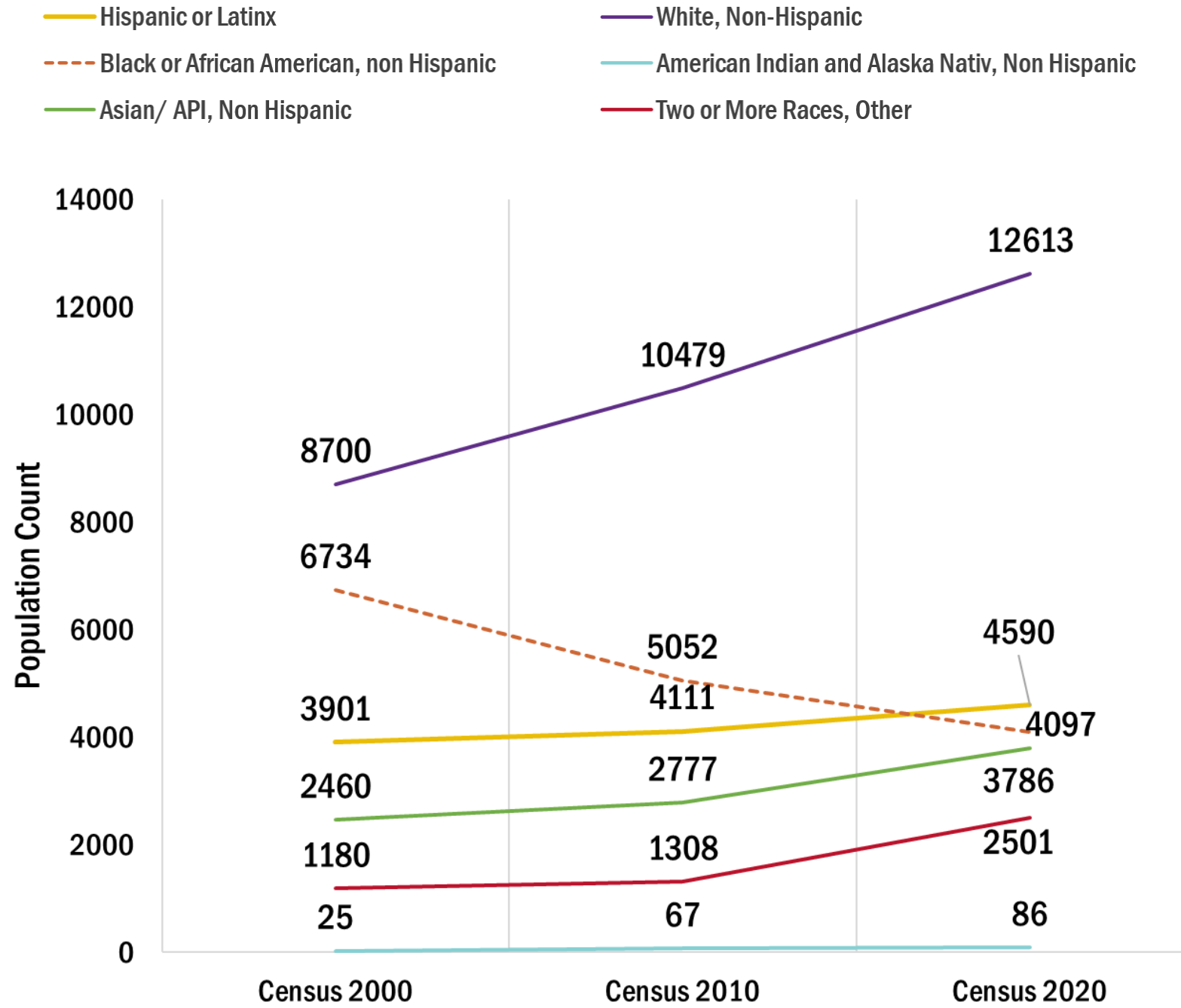
- City of Berkeley
 - Transportation Division
 - Parks, Recreation, and Waterfront Department
 - Fire Department
 - Police Department
- Alameda County Transportation Commission (Alameda CTC)
- AC Transit
- City of Emeryville
- City of Oakland
- City of Albany

Community Demographics and Equity

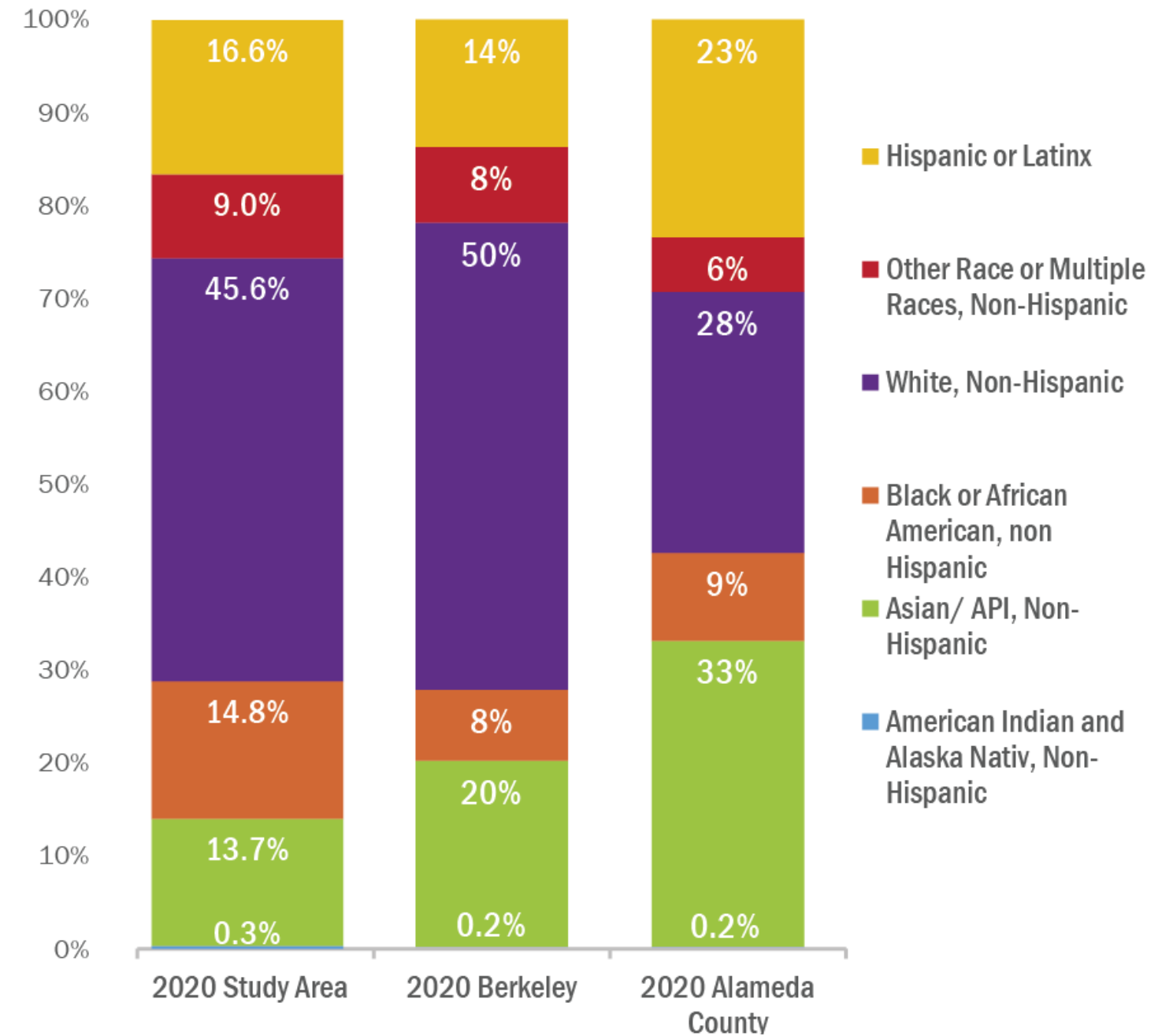


Equity Priority Communities and Redlined Communities. Source: Robert K. Nelson and Edward L Ayers, Mapping Redlining, 2023. MTC, EPC Data, 2021.

Community Demographics and Equity

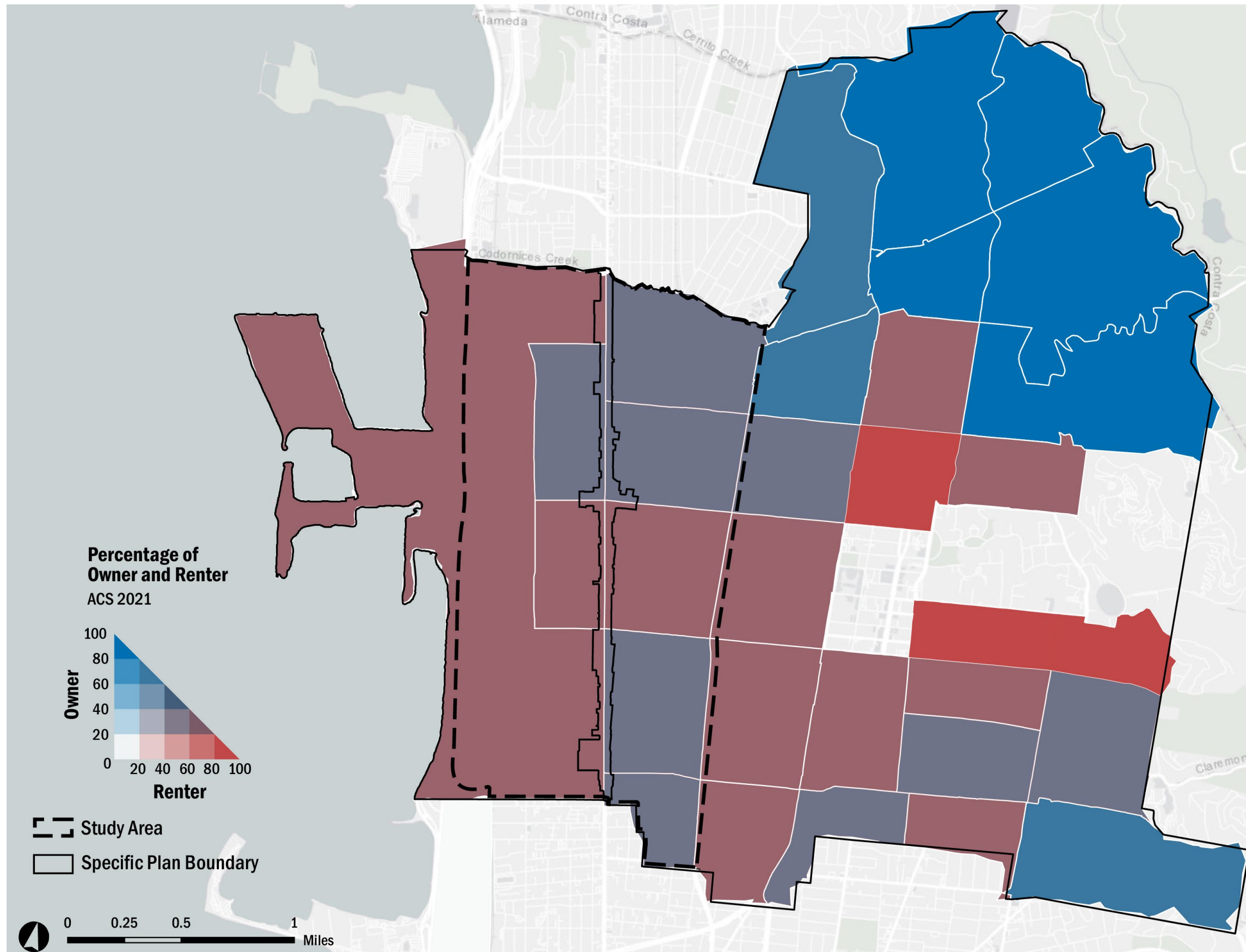


Racial and Ethnic Composition in 2020, Source: U.S. Decennial Census 2020 Table P9



Racial Shift in Study Area by Census Tracts, Source: U.S. Decennial Census, 2000 Table P7, 2010-2020 Table P9

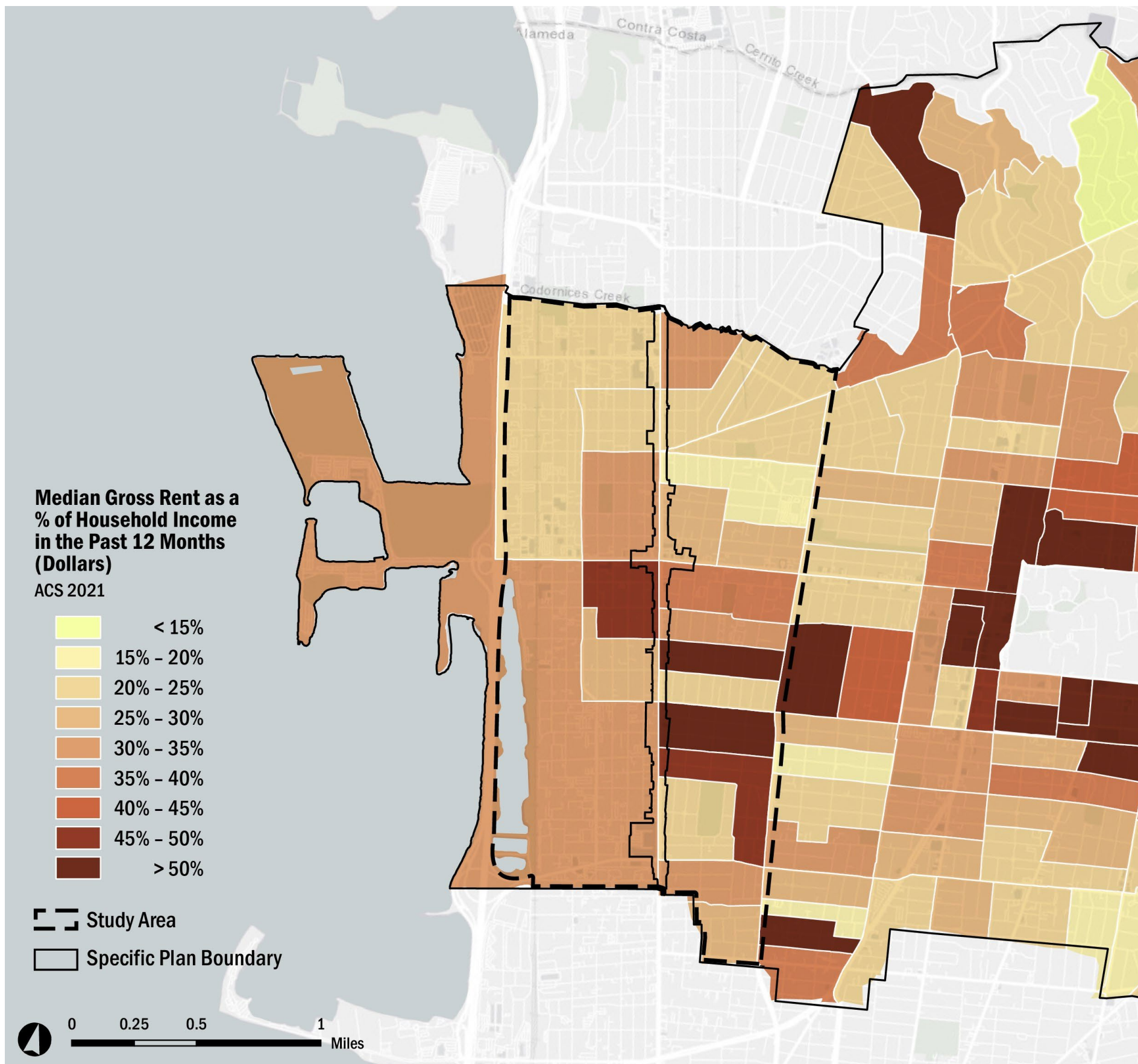
Household Conditions



Mix of Households that Own or Rent in Berkeley. United States Census Bureau. ACS. 2021, Table DP04.

- The Study Area (**10,781 units**) has a higher share of renters (55.3%) relative to owners (44.7%).
- In 2021, the Study Area contained 319 overcrowded units **30% of overcrowded housing citywide**
- In the area, **Owners' housing costs are a lower share of their income**

Household Income and Housing Cost



Median Gross Rent as a Percentage of Household Income in the Past 12 Months (Dollars), ACS 2021 (5-year Estimates)

	Less Than \$10,000:	\$10,000 To \$19,999:	\$20,000 To \$34,999:
Total:	395	602	762
Less Than 20.0 Percent	0	0	6
20.0 To 24.9 Percent	0	0	3
25.0 To 29.9 Percent	18	51	42
30.0 To 34.9 Percent	8	53	41
35.0 To 39.9 Percent	7	24	15
40.0 To 49.9 Percent	0	172	101
50.0 Percent Or More	286	284	548
Not Computed	76	18	6

Rent Burden by Household Income in the Past 12 Months (Dollars), ACS 2021 (5-year Estimates)

- Over 1,100 renter households earn less than \$35,000 and pay more than 50% of their income for rent.
- Nearly 20% of renter households in the Study Area.

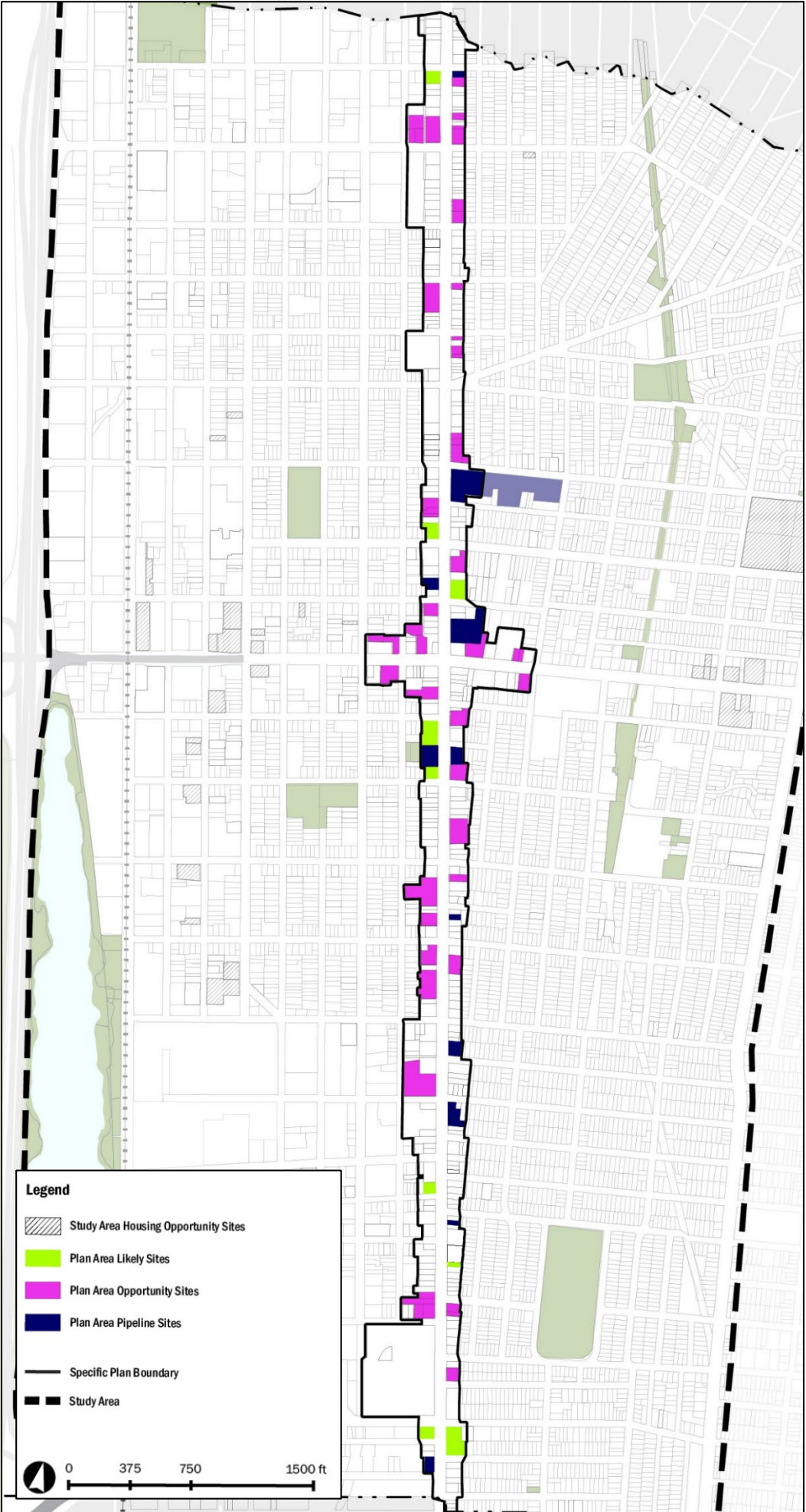
Plan Area Housing Element Update, Housing Sites Inventory

51 Opportunity Sites Include Vacant and underutilized sites with residential or mixed-use potential.

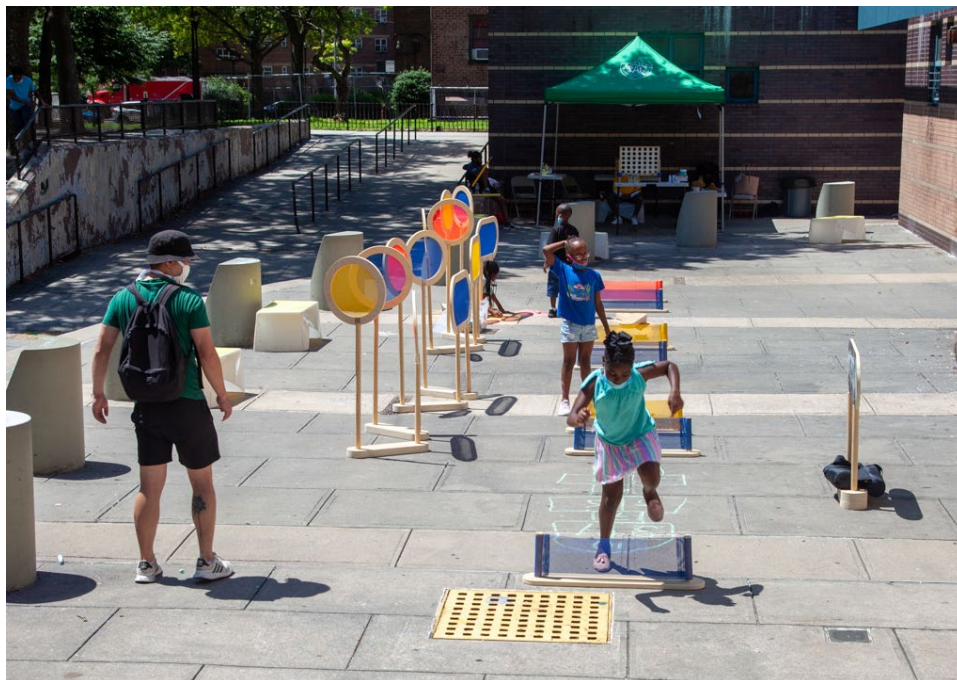
- 20% of the City’s opportunity sites are within the Specific Plan Area

Potential Units	Current Housing Units
Potential New Units: ~4,500 – 5,500	Current Unit Count: ~2,600
600 Units Approved	250 SF detached
2000 Units Under Review	330 MF (2-4 units)
2,000 – 3,000 Units on Opportunity sites	2,020 MF (5+ units)

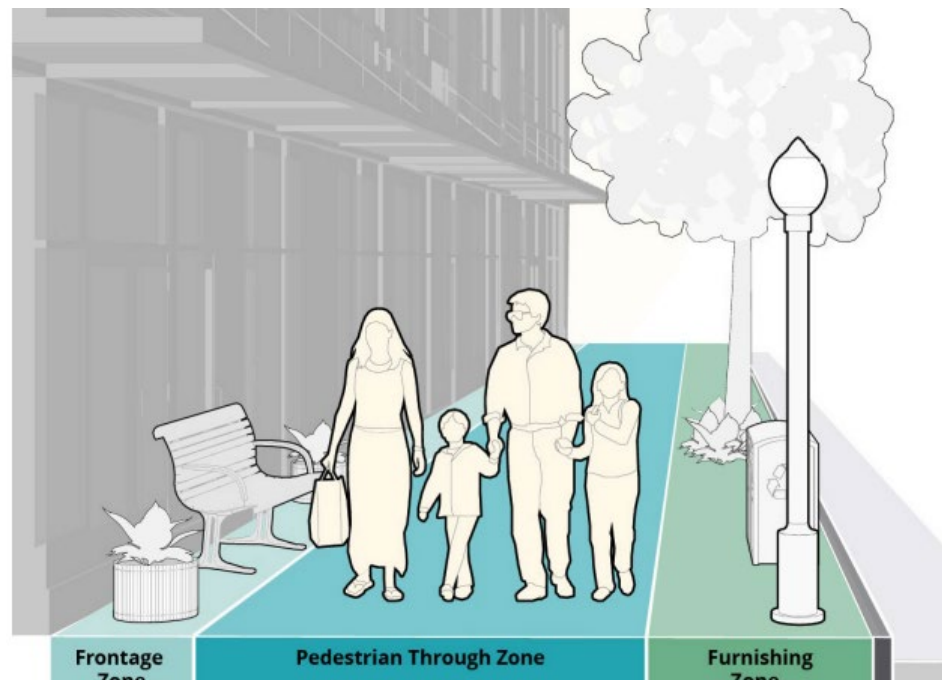
About a 175% to 210% increase in units



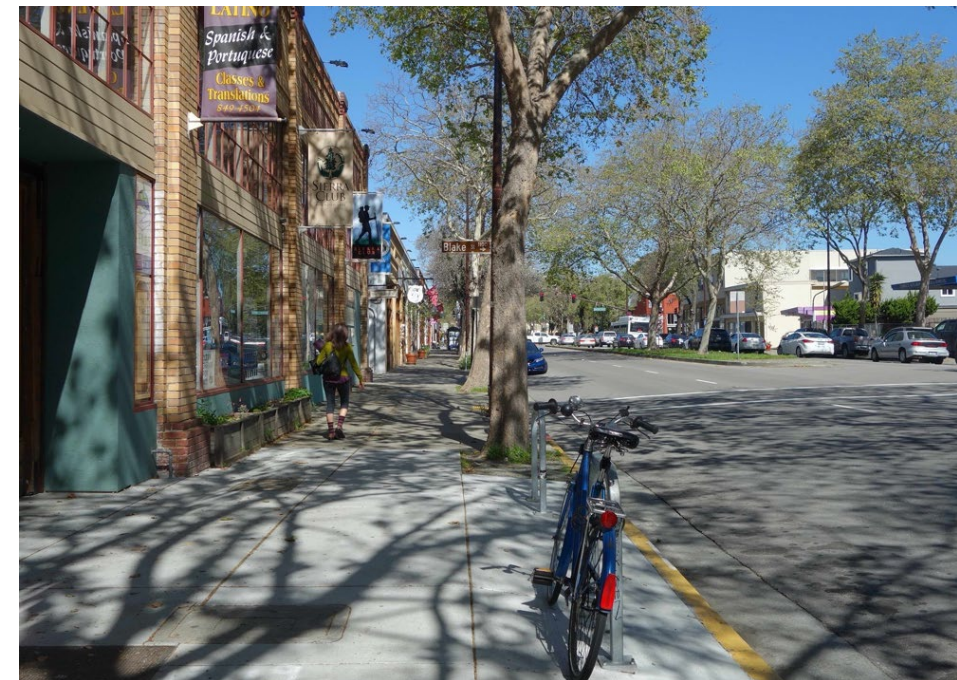
Transportation and Public Space



Source: Street Lab



Source: City of Portland



San Pablo Ave. South of Dwight Way

San Pablo Avenue is a State Highway

Other large Projects:

- Alameda County Transportation Commission's (ACTC) San Pablo Avenue Corridor Projects

Specific Plan Considerations:

- Pedestrian Improvements (e.g., sidewalk, lighting, and landscaping)
- Usable public and private open spaces
- Indoor and outdoor community spaces

Commercial Activity



Brick and Mortar Business at Corner of San Pablo Ave and Delaware. Source: CD+A, 2023



Woman Owned Auto Repair Shop on San Pablo Ave. Source: CD+A, 2023



Vacant Storefront. Source: CD+A, 2023

- 90% of brick-and-mortar businesses are locally owned:
 - 21% are woman owned*
 - 41% are people of color owned*
- Local businesses are more vulnerable to displacement or closure
- Ground-floor vacancy rate on San Pablo Ave doubled since 2017

Public Realm



Mature London Plane trees define the character of San Pablo Ave



Sidewalks in many locations in need of maintenance



Sidewalks at recent developments



Fenced-off parking lot towards sidewalk



Outdoor seating along San Pablo Ave



Graffiti can illustrate the potential for visual activation of the street



Some businesses use art to communicate their culture

Examples of Public Realm Elements



Streetscape: Dimensions and elements of the public sidewalk and landscaping



Site Frontage: Storefronts and relationship of ground floor with the streetscape



Site Frontage: Property and building setbacks, Landscaping



Building: Building mass and form



Building Articulation: Façade design and distinct features of building parts



Building Articulation: Decorative and artistic elements on the facade

Open House Stations

We want to hear from you and have a conversation!

Look out for
the QR
Codes!

